

Contractor shall refer to architectural plans for exact locations and dimensions of vestibules, slope paving, sidewalks, exit porches, truck docks, precise building dimensions, and exact building utility entrance locations.

FIRELANE PAVEMENT MARKINGS:

SHALL BE OF RED TRAFFIC PAINT 6-INCHES WIDE TO 5-INCH EXACT BOUNDARY LINES OF THE FIRE LANE. THESE BOUNDARY LINES MAY BE ON THE CURBS OR ON THE FLAT PAVEMENT. THE LINES SHALL BE MARKED BY PAINTED 4-INCH-HIGH LETTERING, USING A 1-INCH WIDE STROKE OF WHITE TRAFFIC PAINT ON THE CONTRASTING RED BACKGROUND STRIPE. "NO PARKING - FIRE LANE" THIS MARKING IS TO BE PLACED AT 25-FOOT INTERVALS ALONG EACH BOUNDARY LINE (SEE DETAIL SHEET).

SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

ALL DRIVES ARE: 25' - TWO WAY (UNLESS SPECIFICALLY NOTED OTHERWISE)
30' - STORE FRONT (UNLESS SPECIFICALLY NOTED OTHERWISE)

ALL 60' PARKING STALLS: 9.5' X 18'
ALL 90' PARKING STALLS: 9.5' X 18'
EXCEPT ACCESSIBLE STALLS: 8' X 18'/VAN 11' X 18'

ACCESSIBLE MANEUVERING AISLES: 6' (BLUE STRIPING)
VAN MANEUVERING AISLES: 8' (BLUE STRIPING)
ALL ACCESSIBLE AISLES: 5' (BLUE STRIPING)
(UNLESS SPECIFICALLY NOTED OTHERWISE)

ALL CURBS ARE SHOWN ONE FOOT IN WIDTH FOR VISIBILITY
(APPLICABLE DIMENSIONS ARE TO FACE OF CURB)

PAINTING STRIPING LEGEND

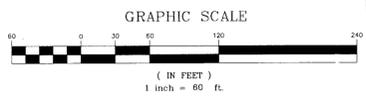
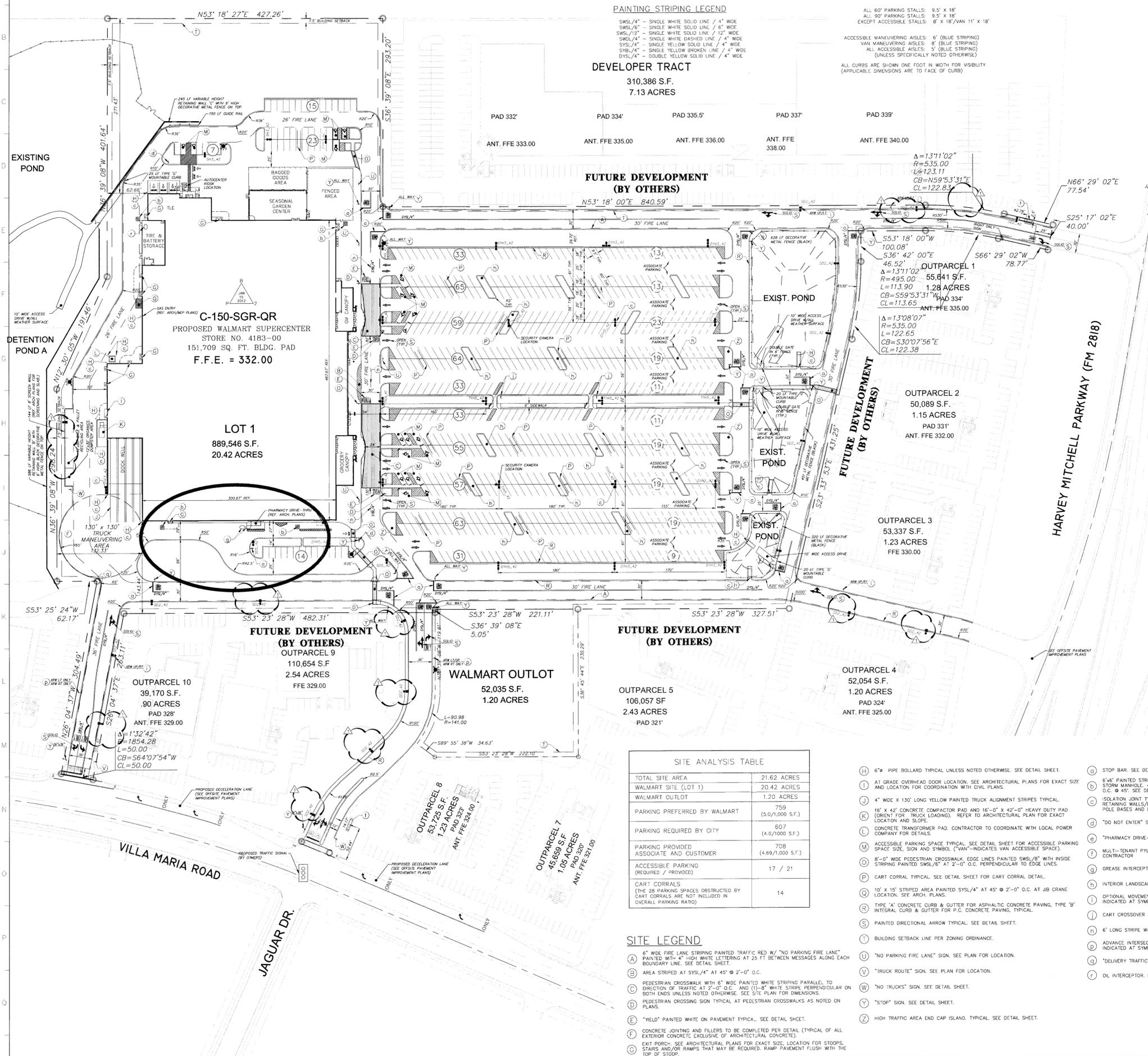
SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
SWSL/6" - SINGLE WHITE SOLID LINE / 6" WIDE
SWSL/12" - SINGLE WHITE SOLID LINE / 12" WIDE
SWD/4" - SINGLE WHITE DASHED LINE / 4" WIDE
SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
SYBL/4" - SINGLE YELLOW BROKEN LINE / 4" WIDE
DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE

DEVELOPER TRACT

310,386 S.F.
7.13 ACRES

FUTURE DEVELOPMENT (BY OTHERS)

N53°18'00"E 840.59'



THE SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS".

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

WARNING TO CONTRACTOR:
CALL 1-800-344-8377 (DIG-TESS), 1-800-245-4545 (Texas One), 1-800-669-8344 (Lonestar Notification) or other Utility Locating Services 72 hours prior to construction activity. DUNAWAY ASSOC., L.P. is not responsible for knowing locations of all existing utilities or depicting exact locations of those utilities shown on any drawing.

BENCHMARKS:
City of Bryan GPS Control Network
Brass or aluminum disk set in concrete

PRIMARY
Monument Number GPS-70
Approximately 300 feet east of Manorwood and 9 feet north of Villa Maria Road
Elevation 339.80'

SECONDARY #1
Monument Number GPS-72
Approximately 0.15 miles west of Mary Branch School sign on the north side of Villa Maria Road
Elevation 281.76'

SECONDARY #2
Monument Number GPS-71
Approximately 0.25 miles west of F.M. 2818 and 22 feet north of Villa Maria Road
Elevation 331.13'

LEGEND

PAVEMENT MARKING (YELLOW STRIPING)
FIRELANE (RED STRIPING)
SETBACK LINE
CURBED PAVING EDGE
NO CURB PAVING EDGE
PROPOSED PARKING SPACES (516/4")
ASSOCIATED PARKING SPACES (582/4")
PARKING LOT LIGHTING
CART CORRAL
DECORATIVE METAL FENCE

SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL UNPAVED DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN. 18" WIDE SOD STRIP IS REQUIRED BEHIND ALL CONCRETE CURBS. REFERENCE SITEWORK SPECIFICATIONS.
- ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "SITE SPECIFIC SPECIFICATIONS".
- PLYON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
- THE CONTRACTOR IS CAUTIONED THAT LOCAL CITY STANDARD DETAILS MAY DIFFER FROM THOSE SHOWN HEREIN. CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH LOCAL CITY, STATE OR FEDERAL SPECIFICATIONS AND DETAILS SHOULD THEY BE MORE STRINGENT THAN THOSE REPRESENTED HEREIN.
- PROPOSED AND EXISTING EASEMENTS ARE SHOWN ON UTILITY PLAN.
- SEE SITE PLAN COORDINATES FOR RADIO INFORMATION.
- CONTRACTOR TO USE TYPE "A" CURB FOR ASPHALT PAVING, "B" CURB FOR CONCRETE PAVEMENT AND TYPE "D" CURB FOR LANDSCAPE ISLANDS. USE TYPE "C" MOUNTABLE CURB WHERE NOTED. REFER TO ARCH. DETAILS ON SITE DETAIL SHEET.
- THE BOTTOMS OF ALL SCREEN WALLS MUST BE 4" ABOVE THE FINISH GROUND ELEVATION.
- SEE SITE DETAILS FOR CONCRETE PAVEMENT JOINING DETAILS.
- ALL WW GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WW GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE ALL NECESSARY DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.
- ALL LIGHT STANDARDS TO BE 42" IN HEIGHT, UNLESS NOTED ON PLAN.
- ALL SIGNAGE SHALL BE INSTALLED A MINIMUM OF 4 FEET FROM BACK OF CURB OR EDGE OF STRIPING, AND OUTSIDE OF ANY PROPOSED SIDEWALKS. HEIGHT OF SIGNS SHALL BE INSTALLED PER DETAIL LOCATED IN THIS SET OF DOCUMENTS. ALL SIGNS SHALL FACE THE DIRECTION OF THE TRAFFIC. IT IS INTENDED TO CONTROL AND SHALL BE PLACED AS NOT TO CREATE A VISUAL HAZARD FOR VEHICLE OR PEDESTRIAN TRAFFIC.

SITE ANALYSIS TABLE

TOTAL SITE AREA	21.62 ACRES
WALMART SITE (LOT 1)	20.42 ACRES
WALMART OUTLOT	1.20 ACRES
PARKING PREFERRED BY WALMART	759 (8.0/1,000 S.F.)
PARKING REQUIRED BY CITY	607 (4.0/1,000 S.F.)
PARKING PROVIDED ASSOCIATE AND CUSTOMER	708 (4.69/1,000 S.F.)
ACCESSIBLE PARKING (REQUIRED / PROVIDED)	17 / 21
CART CORRALS (THE 28 PARKING SPACES OBSTRUCTED BY CART CORRALS ARE NOT INCLUDED IN OVERALL PARKING RATIO)	14

SITE LEGEND

- (A) 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED W/ "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25 FT BETWEEN MESSAGES ALONG EACH BOUNDARY LINE. SEE DETAIL SHEET.
- (B) AREA STRIPED AT SYSL/4" AT 45' @ 2'-0" O.C.
- (C) PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS.
- (D) PEDESTRIAN CROSSING SIGN TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- (E) "YIELD" PAINTED WHITE ON PAVEMENT TYPICAL. SEE DETAIL SHEET.
- (F) CONCRETE JOINTING AND FILERS TO BE COMPLETED PER DETAIL (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).
- (G) EXIT PORCH - SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STAIRS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STAIR.
- (H) 6" PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
- (I) AT GRADE OVERHEAD COORDINATION. SEE ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS.
- (J) 4" WIDE X 130" LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL.
- (K) 16" X 42" CONCRETE COMPACTOR PAD AND 16"-0" X 42"-0" HEAVY DUTY PAD (ORIENT FOR TRUCK LOADING). REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SIZE.
- (L) CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (M) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- (N) 8'-0" WIDE PEDESTRIAN CROSSWALK. EDGE LINES PAINTED SWSL/6" WITH INSIDE STRIPING PAINTED SWSL/6" AT 2'-0" O.C. PERPENDICULAR TO EDGE LINES.
- (P) CART CORRAL TYPICAL. SEE DETAIL SHEET FOR CART CORRAL DETAIL.
- (Q) 10' X 15' STRIPED AREA PAINTED SYSL/4" AT 45' @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS.
- (R) TYPE "A" CONCRETE CURB & GUTTER FOR ASPHALTIC CONCRETE PAVING, TYPE "B" INTEGRAL CURB & GUTTER FOR P.C. CONCRETE PAVING, TYPICAL.
- (S) PAINTED DIRECTIONAL ARROW TYPICAL. SEE DETAIL SHEET.
- (T) BUILDING SETBACK LINE PER ZONING ORDINANCE.
- (U) "NO PARKING FIRE LANE" SIGN. SEE PLAN FOR LOCATION.
- (V) "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- (W) "NO TRUCKS" SIGN. SEE DETAIL SHEET.
- (X) "STOP" SIGN. SEE DETAIL SHEET.
- (Z) HIGH TRAFFIC AREA END CAP ISLAND. TYPICAL. SEE DETAIL SHEET.

- (Q) STOP BAR. SEE DETAIL SHEET.
- (R) 6"x6" PAINTED STRIPED AREA CENTERED ON SIPHONIC BREAK STORM MANHOLE. 4" PAINTED SOLID TRAFFIC YELLOW STRIPES 18" @ 45' SEE DETAIL SHEET.
- (S) ISOLATION JOINT TYPICAL AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE DETAIL SHEET.
- (T) "DO NOT ENTER" SIGN. SEE DETAIL SHEET.
- (U) "PHARMACY DRIVE-THRU" SIGN. SEE DETAIL SHEET.
- (V) MULTI-TENANT Pylon SIGN - INSTALLED BY WALMART SIGN CONTRACTOR
- (W) GREASE INTERCEPTOR. REFER TO MEP/STRUCTURAL PLANS.
- (X) INTERIOR LANDSCAPE ISLAND. SEE DETAIL SHEET.
- (Y) OPTIONAL MOVEMENT LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET.
- (Z) CART CROSSOVER & CART CROSSING SIGNS. SEE DETAIL SHEET.
- (A) 6" LONG STRIPE WITH 18" CAPS (SYBL/4") - TYPICAL.
- (B) ADVANCE INTERSECTION LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET.
- (C) "DELIVERY TRAFFIC ONLY" SIGN. SEE DETAIL SHEET.
- (D) OIL INTERCEPTOR. REFER TO MEP/STRUCTURAL PLANS.
- (E) ALL LIGHT STANDARDS TO BE 42" IN HEIGHT, UNLESS NOTED ON PLAN.
- (F) ALL SIGNAGE SHALL BE INSTALLED A MINIMUM OF 4 FEET FROM BACK OF CURB OR EDGE OF STRIPING, AND OUTSIDE OF ANY PROPOSED SIDEWALKS. HEIGHT OF SIGNS SHALL BE INSTALLED PER DETAIL LOCATED IN THIS SET OF DOCUMENTS. ALL SIGNS SHALL FACE THE DIRECTION OF THE TRAFFIC. IT IS INTENDED TO CONTROL AND SHALL BE PLACED AS NOT TO CREATE A VISUAL HAZARD FOR VEHICLE OR PEDESTRIAN TRAFFIC.

REVISION DESCRIPTION
DATE
No. 10-21-13

DUNAWAY
560 S. Main Street, Suite 205 • Bryan, Texas 77807
Tel: 817.333.1178 • Fax: 817.333.7427
www.dunaway.com

Site Plan
Supercenter No. 4183-00
643 N. Harvey Mitchell Pkwy
Bryan, Texas

Walmart

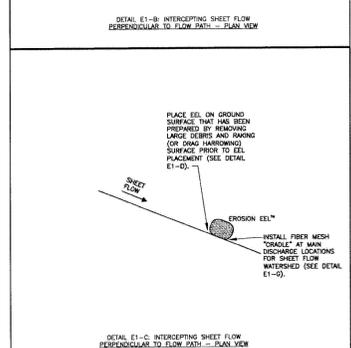
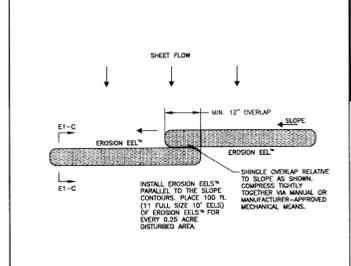
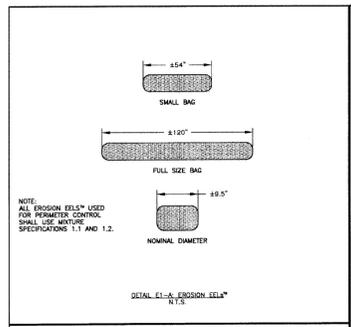


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CONTRACTOR M. BOGGS, P.E., LICENSE NO. 100189.

JOB No. B000330
DRAWN BY: JBB
DESIGNED BY: DLC
CHECKED BY: CMB
QUALITY CONTROL: TKF
DATE: March 21, 2013
SCALE: 1" = 60'
SHEET: 5a OF 46

G:\Projects\4183-00\Drawings\DWG\SitePlan.dwg, Site: 4183-00\1 - 4.2.10 (Initial), T: Dunaway Associates

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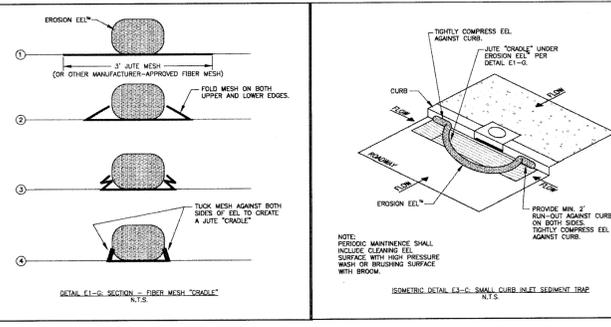
GENERAL NOTES:

- EROSION EELS USED IN PERIMETER CONTROL APPLICATIONS SHALL HAVE A SPECIFICATION NATURE 1.1 OR 1.2.
- NATURE SPECIFICATION 1.1: A FILTER MATURE COMPOSED OF SIZE SHREDED RUBBER AND 100% WOOD CHIP PARTICLES BY VOLUME. THE SHREDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF 1/4" x 3/4" x 1/4" INCH. THE WOOD CHIPS SHALL BE DERIVED FROM RECYCLED WOOD AND SHALL CONFORM TO ASTM D 6858 (WOOD CHIPS) OR ASTM D 6859 (WOOD CHIPS). THE RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL CONFORM TO ASTM D 6858 (WOOD CHIPS) OR ASTM D 6859 (WOOD CHIPS). THE WOOD CHIPS SHALL BE DERIVED FROM RECYCLED WOOD AND SHALL CONFORM TO ASTM D 6858 (WOOD CHIPS) OR ASTM D 6859 (WOOD CHIPS). THE RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL CONFORM TO ASTM D 6858 (WOOD CHIPS) OR ASTM D 6859 (WOOD CHIPS). THE WOOD CHIPS SHALL BE DERIVED FROM RECYCLED WOOD AND SHALL CONFORM TO ASTM D 6858 (WOOD CHIPS) OR ASTM D 6859 (WOOD CHIPS).
- EROSION EELS SHALL BE MANUFACTURED FROM A WOVEN GEOTEXTILE COVERING WITH INTERIOR FILTER MATERIALS SUCH AS 100% SHREDED RUBBER (NATURE SPECIFICATION 1.1), SIZE SHREDED RUBBER/100% AMMO-CERTIFIED WOOD CHIPS (NATURE SPECIFICATION 1.1), OR 1/2" SHREDED RUBBER/1/2" AMMO-CERTIFIED WOOD CHIPS/1/2" RECYCLED SYNTHETIC FIBERS (NATURE SPECIFICATION 1.2).
- LENGTH OF EROSION EELS SHALL BE EITHER A NOMINAL 4'-10 FT. OR 4'-1/2 FT. NOMINAL DIAMETER SHALL BE 4'-8.5 INCHES.
- EROSION EEL CAN BE PLACED AT THE TOP, ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF AS SHEET FLOW AND PROMOTE REDUCTION OF SEDIMENT FROM THE RUNOFF.
- EROSION EEL SHALL BE INSTALLED ALONG THE GROUND CONTOUR AT THE TOE OF SLOPES TO CONTROL THE DIRECTION OF DIRECT FLOW AS A DIVERSION BARRIER, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SEDIMENT LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
- NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EEL.
- PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE STONES INCLUDING ROCKS, SOIL CLOSURE, AND WOODY VEGETATION. EROSION EEL CAN ALSO BE PLACED OVER FINISH SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
- RAVE BED AREA WITH A HAND RAKE OR BY DRAG HARROW.
- DO NOT PLACE EEL DIRECTLY OVER BILL AND SOULES UNTIL AREA HAS BEEN HAND-EGRADED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE SUFFICIENTLY COMPACTED FOR MAXIMUM SEATING OF EEL IN PLACE.
- FOR OTHER APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
- IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, THE EELS SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE "EEL JOINT". COMPRESS THE TIGHT JOINTS TOGETHER EITHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
- FOR CHECK DAM APPLICATIONS, EROSION EEL SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EEL SHALL CONTINUE UP THE SLOPE ABOVE A MINIMUM OF 3 FEET ABOVE THE DESIGN FLOW DEPTH.
- EROSION EEL SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION IS COMPLETELY DEVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (DISCUSSING RECOMMENDATION WITH THE EEL).
- ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LB/FT STEEL T-POSTS (5 TO 7 FT LENGTH) ROLLED FROM HIGH CARBON STEEL. POSTS SHALL BE 1/2" DIAMETER OR GREATER WITH A WATER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
- PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 2 FT INTO GROUND.

Spacing Recommendations for the Erosion Eel™ for Perimeter Controls and Intercepting Sheet Flow on Slopes

SLOPE (%)	*Stacked	
	single eel spacing (ft)	Dual eel spacing (ft)
0-5	300	N/A
1	200	N/A
2	160	N/A
3	80	N/A
4	50	N/A
5	40	N/A
6	35	N/A
8	30	N/A
10	25	N/A
15	17	N/A
20	12	25
25	7	15
30	N/A	10
50	N/A	6

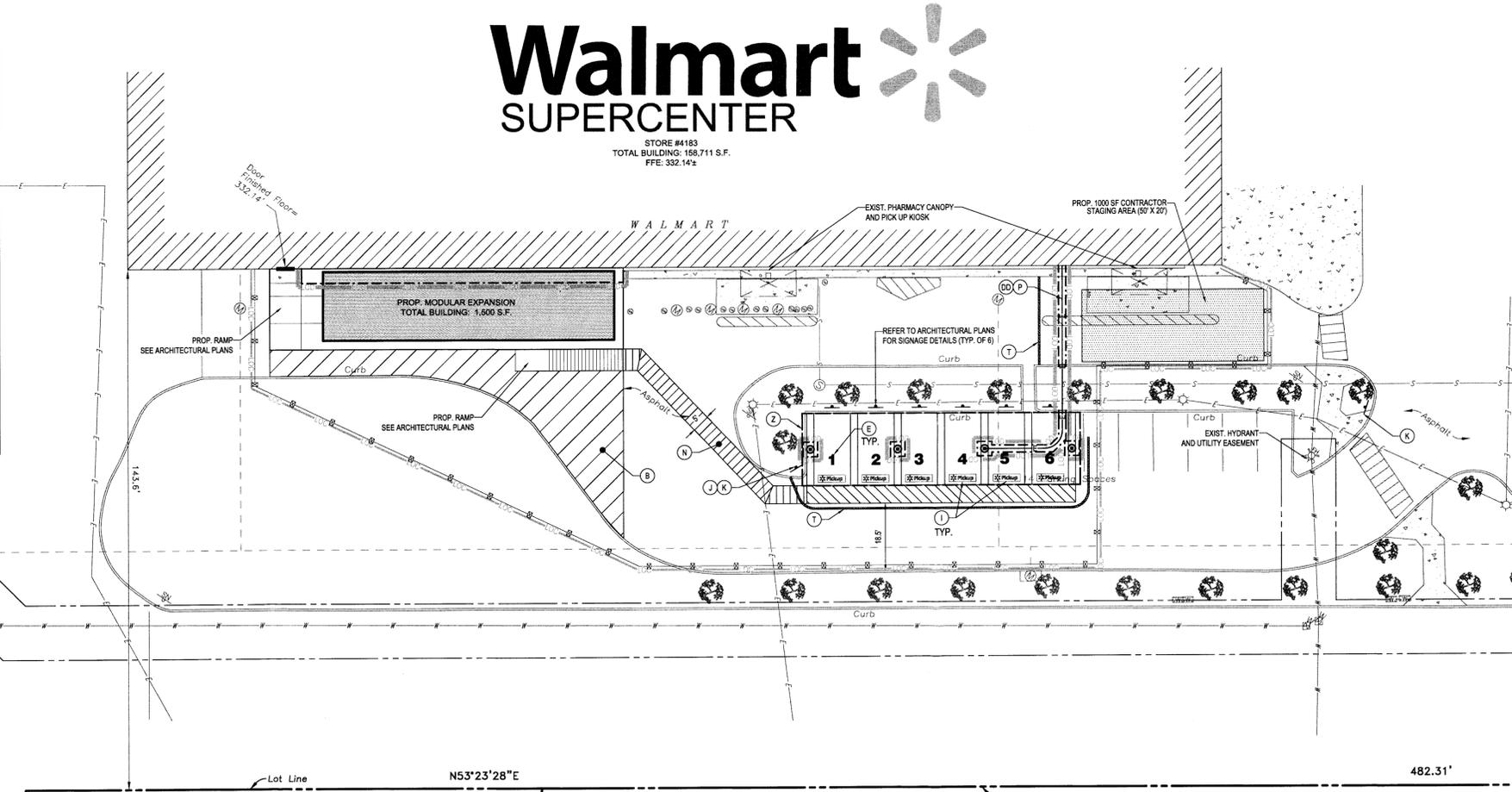
* DUAL STACK REFERS TO TWO EELS STACKED ATOP ONE ANOTHER AND STABILIZED WITH T-POSTS. SEE DETAIL E2-E ON SHEET E-2.



EROSION EELS
 ADDITIONAL SPECIFICATIONS AND DETAILS CAN BE FOUND AT WWW.EROSIONEEL.COM

Walmart SUPERCENTER

STORE #4183
 TOTAL BUILDING: 158,711 S.F.
 FFE: 532,142



SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE LOCAL GOVERNING AGENCY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, ELECTRICAL CONDUIT TIE-INS AND RELOCATED LIGHT POLE PLAN.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE SPECIFIC SPECIFICATIONS.
- CONTRACTOR TO ENSURE ALL INLETS EFFECTED BY CONSTRUCTION WILL RECEIVE INLET PROTECTION.
- DUE TO THE CLOSE PROXIMITY OF UTILITIES, CONTRACTOR TO TEST PIT LOCATIONS WHERE CANOPY COLUMNS WILL BE CONSTRUCTED.
- CONTRACTOR TO CLEAN AREAS WHERE CONSTRUCTION STAGING OCCURS. ANY DEBRIS FROM CONSTRUCTION RELATED ACTIVITIES SHALL BE PROPERLY REMOVED. EFFECTED AREAS WITH STRIPING SHALL BE RE-STRIPED PER EXISTING CONDITIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE INLET PROTECTION TO ALL DRAINAGE STRUCTURES POTENTIALLY AFFECTED BY CONSTRUCTION ACTIVITY WHICH ARE BEYOND THE LIMITS OF CONSTRUCTION.

- SITE LEGEND**
- (A) PICKUP PAVEMENT MARKINGS WITH DIRECTIONAL PAVEMENT ARROWS. SEE DETAIL.
 - (B) STRIPED AREA AT SYSL 4" AT 45° @ 2'-0" O.C.
 - (C) OPEN DIRECTIONAL ARROW MARKING PAINTED ORANGE. SEE DETAIL.
 - (D) "DO NOT ENTER" PAVEMENT MARKINGS PAINTED WHITE.
 - (E) PICKUP PAVEMENT MARKINGS. SEE DETAIL.
 - (F) SILT SACK INLET PROTECTION.
 - (G) "RX" PAINTED ON PAVEMENT.
 - (H) 6" Ø PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
 - (I) PICKUP PAVEMENT MARKING. SEE DETAIL.
 - (J) "THANKS FOR ORDERING" SIGN. SEE DETAIL.
 - (K) PICKUP HOURS' SIGN. SEE DETAIL.
 - (L) PICKUP DIRECTIONAL SIGN. SEE DETAIL.
 - (M) "ONE WAY" PAVEMENT MARKING PAINTED WHITE.
 - (N) PEDESTRIAN CROSSWALK. SEE DETAIL SHEET.
 - (O) RELOCATED CART CORRAL.
 - (P) PROP. (2) 1" PICKUP KIOSK CONDUIT FOR POWER AND DATA. SEE ARCHITECTURAL PLANS FOR ENTRY AT BUILDING.
 - (Q) PROP. (4) 1" PICKUP KIOSK CONDUIT FOR POWER/LIGHTING, DATA, SECURITY AND SPARE. SEE ARCHITECTURAL PLANS FOR ENTRY AT BUILDING.
 - (R) CONCRETE CURB AND GUTTER TO MATCH EXISTING FOR GRADE AND TYPE. SEE DETAIL SHEET.
 - (S) OPEN WHITE ARROW PAVEMENT MARKINGS TYPICAL. SEE PLAN FOR TYPE. SEE DETAIL SHEET.
 - (T) EROSION EELS OR APPROVED EQUAL. (SEE EROSION EEL DETAILS ON THIS SHEET)
 - (U) "STOP" SIGN. SEE DETAIL SHEET. (ALL "STOP" SIGNS 30"X30" UNLESS NOTED ON PLAN)
 - (V) PROPOSED RAMP. SEE DETAIL.
 - (W) STOP BAR WITH MESSAGE. SEE DETAIL SHEET.
 - (X) "ONE WAY - DO NOT ENTER" SIGN. SEE DETAIL SHEET.
 - (Y) OVERHEAD PNEUMATIC TUBES. SEE ARCHITECTURAL PLANS.
 - (Z) PICKUP CANOPY.
 - (AA) "RX DRIVE THRU RIGHT, PICKUP LEFT" SIGN. SEE DETAIL SHEET.
 - (BB) STRIPED AREA SWSL4" AT 45° @ 2'-0" O.C.
 - (CC) SIGN WITH BOLLARD "RESERVED WAITING ONLY" SEE DETAIL SHEET.
 - (DD) CONTRACTOR TO MATCH EXISTING PAVING SURFACE IN AREAS WHERE CURB ISLANDS HAVE BEEN REMOVED OR WHEN TRENCHING IS REQUIRED. SEE DETAIL SHEET.

PARKING REDUCTION NOTES

A PARKING REDUCTION OF 8 SPACES TO A 1:14 RATIO IS PROPOSED FROM THE CURRENT 4:19 RATIO (666 SPACES). THE PARKING REQUIREMENT FOR THIS USE PER THE ZONING OF BRYAN TEXAS, IS (1) SPACE PER 200 SF OF FLOOR AREA. THIS EQUATES TO A PARKING RATIO OF 6:100. WALMART, A GLOBAL RETAILER, INTERNALLY HAS STUDIED PARKING DEMANDS AT THEIR STORES AND BASED ON ACTUAL USAGE, HISTORICALLY HAS SEEN THE NEED FOR A MINIMUM 4:0 PARKING RATIO. THEREFORE, THE PARKING REDUCTION IS JUSTIFIED DUE TO THE NEW RATIO STILL BEING ABOVE THE MINIMUM 4:0 PARKING RATIO.

ADDITIONALLY, THE PROPOSED DRIVE THROUGH USE IS INTENDED TO BE VISITED BY EXISTING STORE CUSTOMERS WHO WOULD OTHERWISE ENTER THE STORE TO PURCHASE GROCERIES. THESE CUSTOMERS WOULD NOW BE ABLE TO USE THE DRIVE THROUGH FACILITY, POTENTIALLY LESSENING THE DEMAND ON THE EXISTING PARKING FIELD FOR THE EXISTING BUILDING SQUARE FOOTAGE.

AS THE PROPOSED PARKING RATIO IS 4:14 (100%), OR 4% HIGHER THAN THE 4:0 PARKING RATIO DETERMINED TO BE NECESSARY TO SUPPORT A WALMART STORE, AND THE PROPOSED USE SHOULD NOT INCREASE THE PARKING DEMAND AT THE STORE, IT IS THE ENGINEER'S OPINION THAT THE PROPOSED PARKING RATIO IS ACCEPTABLE BASED ON HISTORICAL INFORMATION AND THE PARKING REQUIREMENTS FOR THIS USE IN BRYAN, TX.

UTILITY LEGEND

EXISTING/PROPOSED NOTE	TYPICAL NOTE TEXT
—S—S—	SANITARY SEWER
—W—	UNDERGROUND WATER LINE
—E—	UNDERGROUND ELECTRIC LINE
—E—E—	UNDERGROUND CONDUIT LINE
—S—S—S—S—	STORM SEWER
⊕	HYDRANT
⊕	SANITARY MANHOLE
⊕ ICV	ICV WATER VALVE
⊕	WATER VALVE
⊕	CLEAN OUT
⊕	GREASE TRAP

SITE LEGEND

△	EXISTING PARKING SPACES
—	LIMIT OF DISTURBANCE
—	LIMIT OF CONSTRUCTION
---	SAWCUT LINE
⊕	CONSTRUCTION FENCE

ALERT TO CONTRACTOR:

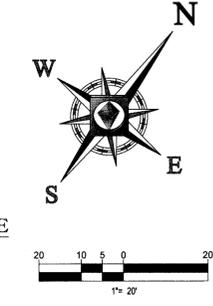
ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION

WALMART PARKING ANALYSIS TABLE

EXISTING	BUILDING SF	No. OF SPACES	WALMART RATIO
EXISTING	158,711	666	4.19/1,000
PROPOSED	158,711	668	4.14/1,000
CITY REQUIREMENT	158,711	794	5/1,000

PICKUP ADDITION RESULTS IN AN 8 PARKING SPACE LOSS



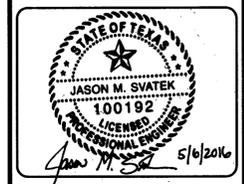
REVISIONS

NO.	DESCRIPTION	BY

NOT APPROVED FOR CONSTRUCTION

TEAMS REQUIRES NOTIFICATION BY EXAMINATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE. CALL: 811 OR 800-945-8085

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SITE AND UTILITY PLAN
 WALMART STORE #4183
 BRYAN, TEXAS

Walmart STORE #4183
 BENTONVILLE, AR

PAINTING STRIPING LEGEND

SWSL4" - SINGLE SOLID WHITE LINE / 4" WIDE
 SYSL4" - SINGLE YELLOW SOLID LINE / 4" WIDE
 DYSL4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH

DRAWN: NJA
 CHECKED: JS
 DATE: 03/30/2016
 SCALE: 1"=20'
 JOB No: NM16052
 SHEET: C-6

OF 08